

Chester Unified Development Bylaws - Proposed Allowed Uses by District

Allowed Uses	VC	VG	VMU	GB	SV	N	RES-2	A3	OS	RMU	RUR-5	RUR-8	CON
Accessory Dwelling Unit	P	P	P	P	P	P	P	P		P	P	P	
Accessory Structure	P	P	P	P	P	P	P	P	CU	P	P	P	
Accessory Use	P	P	P	P	P	P	P	P		P	P	P	
Agriculture/Forestry*			P	P		P	P	P		P	P	P	P
Animal Hospital			CU	CU			CU	CU		CU	CU		
Animal Kennel				CU			CU	CU		CU	CU	CU	
Art Studio and/or Gallery	CU	P	P	P	CU					CU	CU	CU	
Arts & Entertainment	CU	CU	CU		CU			CU	CU	CU			
Automotive Fuel/Sales/Service			CU	CU									
Building & Construction Trades	CU		CU	CU			CU	CU		CU	CU	CU	
Campground							CU	CU		CU	CU		
Civic/Institutional	CU	CU	CU	CU	CU	CU	CU	CU	CU	CU	CU	CU	
Club	CU	CU	CU	CU									
Commercial Broadcast Facilities	CU		CU	CU		CU		CU					CU
Commercial Storage Units				CU			CU	CU		CU			
Dwelling - Multi-Household (3-4 units)	P	P	P	CU	P	P	CU	CU		CU	CU		
Dwelling - Multi-Household (5+ units)	CU	CU	CU	CU	CU	CU	CU	CU		CU	CU		
Dwelling - Single Household	P	P	P	CU	P	P	P	P		P	P	P	
Dwelling - Two Household	P	P	P	CU	P	P	P	P		P	P	P	
Extraction Operations											CU	CU	CU
Family Childcare Facility	CU	CU	CU	CU	CU	CU	CU	CU		CU	CU	CU	
Family Childcare Home	P	P	P	P	P	P	P	P		P	P	P	P
Food Truck/Food Cart/Food Stand	CU	CU	CU	CU	CU	CU	CU	CU	CU	CU	CU	CU	
Group Home	P		P	P	P	P	P	P		P	P	P	P
Health Care Facility	CU	CU	CU	CU				CU		CU			
Home Business	CU	CU	CU	CU	CU	CU	CU	CU		CU	CU	CU	
Home Occupation	P	P	P	P	P	P	P	P		P	P	P	
Industrial Facility				CU									
Light Industry	CU	CU	CU	CU				CU		CU			
Mobile Home Park										CU	CU		
Multi-Purpose	CU	P	CU		CU	CU				CU			
Nursery			CU	CU			CU	CU	CU	CU	CU	CU	
Open Market	CU	CU	CU	CU					CU				
Personal Service Shop	CU	CU	CU	CU									
Private Broadcast Facility	P		P	P	P	P		P		P			P
Professional Office	CU	P	CU	CU	CU	CU	CU	CU		CU	CU		
Pub/Tavern/Bar	CU	CU	CU	CU									
Recreation	CU	CU	CU	CU	CU	CU	CU		CU	CU	CU	CU	CU
Residential Care Home	CU	CU	CU	CU						CU			
Restaurant	CU	P	CU	CU	CU	CU		CU		CU			
Retail Store	CU	P	CU	CU	CU	CU		CU					
Sawmill									CU		CU	CU	
Tourist Lodging	CU	CU	CU		CU	CU	CU	CU		CU	CU	CU	
Wireless Communication Facility											CU		
Wood Processing							CU	CU	CU		CU	CU	CU

NOTES:

P = permitted use, CU = conditional use review

A blank box indicates that a land use is not allowed in that district.

This table is intended as a reference only. If there are any differences, the text of the Unified Development Bylaws are the official zoning requirements for the Town of Chester.

ZONING DISTRICTS:

Village Center (VC)

Village Green (VG)

Mixed Use (MU)

General Business (GB)

Stone Village (SV)

Neighborhood (N)

Open Space (OS)

Residential 2-Acre (RES-2)

Rural 5-Acre (RUR-5)

Rural 8-Acre (RUR-8)

Conservation (CON)

(Formerly Residential-Commercial and Adaptive 3)

(Formerly Commercial-Industrial)

(Formerly R-20 and portions of R-40)

(Formerly portions of R-40)

(Formerly R-120/R-3)

(Formerly Conservation-Residential)

(Formerly Forest)

Chester Unified Development Bylaws - Proposed Dimensional Standards by District

Dimensional Standards	VC	VG	MU	GB	SV		N		OS	RES-2	RMU	RUR-5	RUR-8	CON
			W&S		W&S	On-Site	W&S	On-Site						
Minimum Lot Size (acres)	1/8		1/5		1/5		1/5		5	2	2			
Minimum Lot Size (square feet)	5,445	3,600	8,712	20,000	8,712	30,000	8,712	30,000	217,800	87,120	87,120			
Density Standard (Building Unit/Acre)												1 unit / 5 Acres	1 unit / 8 Acres	
Minimum Lot Frontage (feet)	50	30	75	100	80	120	60	150	200	150	150	150	200	
Minimum Front Yard Setback (feet)	10	0	15	20	20	40	15	25	50	40	40	40	40	
Minimum Side Yard Setback (feet)	5	0	15, 30	15, 30	20	30	10	20	50	30	30	30	30	
Minimum Rear Yard Setback (feet)	10	8	15, 30	15, 30	16	30	10	20	50	30	30	30	30	
Maximum Lot Coverage (%)	80%	90%	70%	70%	50%	30%	50%	30%	10%	20%	30%	20%	10%	
Maximum Building Height (feet)	35	35	35	35	35	35	35	35	35	35	35	35	35	

NOTES:

This table is intended as a reference only. If there are any differences, the text of the Unified Development Bylaws are the official zoning requirements for the Town of Chester.

ZONING DISTRICTS:

Village Center (VC)

Village Green (VG)

Mixed Use (MU)

(Formerly Residential-Commercial and Adaptive 3)

General Business (GB)

(Formerly Commercial-Industrial)

Stone Village (SV)

Neighborhood (N)

(Formerly R-20 and portions of R-40)

Open Space (OS)

Residential 2-Acre (RES-2)

(Formerly portions of R-40)

Rural 5-Acre (RUR-5)

(Formerly R-120/R-3)

Rural 8-Acre (RUR-8)

(Formerly Conservation-Residential)

Conservation (CON)

(Formerly Forest)

UNIFIED DEVELOPMENT BYLAWS TOWN OF CHESTER, VERMONT



ADOPTED MARCH 15, 2017	EFFECTIVE APRIL 5, 2017	
AMENDED JUNE 1, 2022	EFFECTIVE JUNE 22, 2022	(Added Village Green District)
AMENDED SEPT. 21, 2022	EFFECTIVE OCTOBER 12, 2023	(Added Adaptive Reuse)
AMENDED OCTOBER 5, 2022	EFFECTIVE OCTOBER 26, 2023	(Added Legacy Uses)
AMENDED JULY 5, 2023	EFFECTIVE JULY 26, 2023	(Admin. Amendments, Open Space)
AMENDED DEC. 6, 2023	EFFECTIVE DEC. 27, 2023	("Chester Center Districts")

Draft Rural Amendments February 22, 2024

ARTICLE 2 – Establishment of Zoning Districts & District Standards

2.1 Classes of Districts

For the purposes of these Bylaws, the boundaries of districts are and shall be established as shown on the Zoning Map of the Town of Chester, which map is hereby declared to be part of these Bylaws, and the area of the Town of Chester is hereby divided into the following classes of districts:

VC - Village Center

VG - Village Green

VMU – Village Mixed Use

GB - General Business

SV - Stone Village

N – Neighborhood

Residential 2 Acres (RES-2) ~~R40 – Residential 40,000 square foot lots~~

RMU – Rural Mixed Use ~~A3 – Adaptive 3~~

Rural 5 Acres (RUR-5) ~~R120 – Residential 120,000 square foot lots~~

OS – Open Space District

Rural 8 Acres (RUR-8) ~~CR – Conservation Residential~~

Conservation F – Forest

APO - Aquifer Protection Overlay District

FDP - Flood Damage Prevention Overlay District

A full and detailed written description of the precise boundaries of all districts, which is a part of these Bylaws, is on file with the Town Clerk of the Town of Chester.

2.2 District Uses and Requirements

The following are district uses, lot size minimums, setbacks, frontage requirements and maximum coverage.

A. Permitted Uses

Permitted uses are those uses that can be approved by the Zoning Administrator (ZA), without action of the Development Review Board. All permitted uses shall comply with the Parking and Sign Requirements for the District.

B. Conditional Uses

Specific Conditional Uses are permitted in each district only by approval of the Development Review Board provided that the general and specific standards and special criteria outlined in Section 4.7 of these Bylaws are met.

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2.4 Village Mixed Use (VMU) District

A. Purpose: To provide a mix of higher-density residential and commercial uses in an area that is centrally located within municipal water and sewer service areas.

B. Permitted Uses: The following land uses require a zoning permit issued by the Zoning Administrator (see Section 7.2):

1. Accessory Dwelling Unit
2. Accessory Structure
3. Accessory Use (e.g., Home Child Care Facility)
4. Agricultural/Forestry (See Sec. 4.3 Limitations & Exemptions)
5. Art Studio and/or Gallery
6. Dwelling – Single- and Two-Household
7. Dwelling– Multi-Household (3-4 units)
8. Family Childcare Home
9. Group Home
10. Home Occupation
11. Private Broadcast Facility

C. Conditional Uses: The following land uses require conditional use review by the Development Review Board (see Section 4.8) and a zoning permit issued by the Zoning Administrator (see Section 7.2):

1. Animal Hospital
2. Arts & Entertainment
3. Automotive Fuel/Service/Sales
4. Building and Construction Trades
5. Civic / Institutional
6. Club
7. Commercial Broadcast Facility
8. Dwelling – Multi-Household (5+ units)
9. Family Child Care Facility
10. Food Truck/Food Cart/Food Stand
11. Health Care Facility
12. Home Business
13. Light Industry
14. Multi-Purpose
15. Nursery
16. Open Market
17. Personal Service Shop
18. Pub/Tavern/Bar

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19. Professional Office
20. Recreation
21. Residential Care Home
22. Restaurants
23. Retail Store
24. Tourist Lodging

D. Dimensional Standards:

	Municipal Water and Sewer Services
Minimum Lot Size	1/5 acre (8,712 sq. ft.)
Minimum Lot Frontage	75 ft.
Minimum Front Yard Setback	15 ft.
Minimum Side Yard Setback	15 ft.; or 30 ft. for non-residential uses abutting residential uses
Minimum Rear Yard Setback	15 ft.; or 30 ft. for non-residential uses abutting residential uses
Maximum Lot Coverage	70%
Maximum Building Height	35 ft.

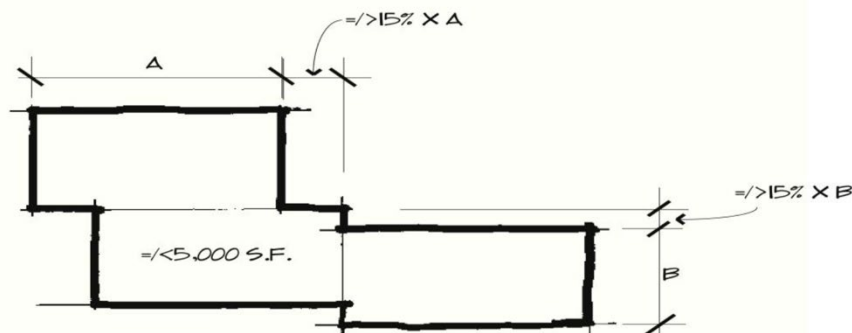
E. Supplemental Standards:

1. **Character of Development.** For the purposes of articulating the character of development, this zoning district is broken into three sub-districts:
 - a. **Chester Depot/South Main Street:** New buildings and modifications of existing buildings shall be of a similar building mass and orientation as buildings in this sub-district, and shall not unduly detract from the existing character of the Village. Where there are conflicts with existing adjoining buildings, building modifications or expansions of uses shall not increase the degree of conflict.
 - b. **Gassetts:** New development and redevelopment in this area shall continue in the current moderate density, with a mix of commercial, light industrial and residential uses. All new driveways and substantially reconstructed existing driveways shall meet the Agency of Transportation's *Access Management Program Guidelines*, as most recently adopted.
 - c. **VT Route 103 South:** new buildings and modifications to existing buildings shall extend the historic pattern of higher density, mixed use village development that includes single and multi-family dwellings, civic and mixed-use buildings (e.g.,

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residential apartments over commercial storefronts), and new public greens all interconnected via pedestrian paths or sidewalks. The desired character of this area requires a shift from vehicle- oriented development allowed under the former Zoning Bylaws, to a more pedestrian-friendly form of mixed-use development. All new driveways and substantially reconstructed existing driveways shall meet the Agency of Transportation's *Access Management Program Guidelines*, as most recently adopted.

- 2. Landscaping & Screening.** The Development Review Board shall require landscaping or other screening between incompatible uses or structures.
- 3. Rail Oriented Uses.** No setbacks shall be required for railroad-related uses from any lot line that abuts the Railroad.
- 4. Building Element.** A Building Element is a single building or distinct portion of a larger building conglomerate. No building element may be greater than 5,000 square feet in gross area. Any portion of the building element that will displace precipitation shall be included in the square footage sum. Trellises, decks, fixtures, banners, flags and their support structures shall not be included in the square footage sum and shall comply with all other applicable Town Bylaws. An attached building element must be displaced laterally from another by a minimum of 15% of the length of the larger building element common wall. Building elements shall be configured and designed to comply with all other district lot coverage, setbacks and applicable Unified Development Bylaw restrictions.



This diagram is an example of how separate Building Elements could maintain compliance with the square foot maximum called for, while being part of a larger structure. The block below and to the right of the uppermost block is attached to a wall the length of A and is offset by 15% of the length of A. The block to the right and slightly below the second block is attached to a wall the length of B and is offset by 15% of the length of wall B.

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2.8 Residential **2-Acre (RES-2) 40,000 (R40)** District

A. Purpose: To provide moderate-density residential neighborhoods with compatible commercial and civic uses that are consistent with the Chester Town Plan.

B. Permitted Uses: The following land uses require a zoning permit issued by the Zoning Administrator (see Section 7.2):

1. Accessory Dwelling
2. Accessory Structure
3. Accessory Use (e.g., Home Child Care Facility, ~~Home Occupation~~)
4. Agricultural/Forestry (See Sec. 4.3 Exemptions)
5. Family Child Care Home
6. Group Home
7. Home Occupation
8. **Dwelling** – Single- and Two-**Household**

C. Conditional Uses: The following land uses require conditional use review by the Development Review Board (see Section 4.8) and a zoning permit issued by the Zoning Administrator (see Section 7.2):

- ~~1. Animal Hospital~~
- ~~2. Animal Kennel~~
- ~~3. Building and Construction Trades~~
4. Campground
5. Civic / Institutional
6. Wireless Communication Facility
- ~~7. Commercial Storage Unit~~
8. Extraction Operations
9. Family Child Care Facility
- ~~10. Food Truck/Food Cart/Food Stand~~
- ~~11. Heavy Construction Trades~~
12. Home Business
- ~~13. Nursery~~
- ~~14. Processing Construction and Landscaping Aggregate~~
15. Professional Office
16. Recreation
17. **Dwelling** – Multi-**Household**
18. Mobile Home Park
19. Tourist Lodging
- ~~20. Wood Processing~~

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D. Dimensional Standards:

Minimum Lot Size	2 Acres 40,000 (87,120 sq. ft.)
Minimum Lot Frontage	120 150 ft.
Minimum Front Yard Setback	40 ft.
Minimum Side Yard Setback	30 ft.
Minimum Rear Yard Setback	30 ft.
Maximum Lot Coverage	20%
Maximum Building Height	35 ft.

E. Supplemental Standards:

1. Driveways. All new driveways and substantially reconstructed existing driveways along VT Routes 11 and 103 shall meet the Agency of Transportation's *Access Management Program Guidelines*, as most recently adopted.

2. Character of Development. New development and modifications to existing buildings and uses shall be consistent with the existing character of the area and compatible with adjacent land uses with respect to traffic, noise, vibrations, or other impacts in conflict with residential uses.

3. Landscaping and Screening. The Development Review Board shall require landscaping or other screening between incompatible uses or structures

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2.9 Rural Mixed Use (RMU) District ~~Adaptive 3 (A3) District~~

A. Purpose: To allow for moderate density, mixed use development in three small clusters of existing development located along major thoroughfares. All new development, redevelopment and infill development will employ sound access management techniques and incorporate smart growth principles as defined in state law [24 V.S.A. § 2791]. ~~provide property owners in this lower density district, who are served by municipal water but not municipal sewer, the opportunity to take advantage of existing facilities as well as have potential for the creation of commercial and light industrial uses.~~

B. Permitted Uses: The following land uses require a zoning permit issued by the

Zoning Administrator (see Section 7.2):

1. Accessory Dwelling
2. Accessory Structure
3. Accessory Use (e.g., Home Child Care Facility, ~~Home Occupation~~)
4. Agricultural/Forestry (See Sec. 4.3 Limitations & Exemptions)
5. Family Child Care Home
6. Group Home
7. Home Occupation
8. Private Broadcast Facility
9. **Dwelling Residential** – Single- and Two-**Household Family**

C. Conditional Uses: The following land uses require conditional use review by the Development Review Board (see Section 4.8) and a zoning permit issued by the Zoning Administrator (see Section 7.2):

1. Animal Hospital
2. Animal Kennel
3. **Art Studio and/or Gallery**
4. Arts & Entertainment
5. ~~Building and Construction Trades~~
6. ~~Campground~~
7. Civic/Institutional
8. ~~Commercial Broadcast Facility~~
9. **Commercial Storage Unit**
10. Family Child Care Facility
11. **Food Truck/Food Cart/Food Stand**
12. **Health Care Facility** ~~Heavy Construction Trades~~
13. Home Business
14. **Light Industrial**
15. **Mobile Home Park**
16. **Multi-Purpose**

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17. Nursery
18. Professional Office
19. Dwelling Residential— Multi-Household Family
20. Residential Care Home
21. Restaurant
22. Tourist Lodging
23. Retail Store
24. Wood Processing

D. Dimensional Standards:

Minimum Lot Size	2 3 acres
Minimum Lot Frontage	150 200 ft.
Minimum Front Yard Setback	40 50 ft.
Minimum Side Yard Setback	30 50 ft.
Minimum Rear Yard Setback	30 50 ft.
Maximum Lot Coverage	30 35 %
Maximum Building Height	35 ft.

E. Supplemental Standards:

1. Character of Development. New development and redevelopment in this area shall continue in the current moderate density, with a mix of commercial, light industrial and residential uses.

2. Driveways. All new driveways and substantially reconstructed existing driveways shall meet the Agency of Transportation's *Access Management Program Guidelines*, as most recently adopted.

3. No formula use/drive through restaurants?

4. Specify only smaller, more rural-scale tourist lodgings?

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2.11 Rural 5 Acre (RUR-5) Residential 120,000 (R120) District

A. Purpose: To provide for the rural countryside and working landscape activities, while also accommodating low-density residences and home businesses neighborhoods with compatible home businesses and working landscape uses that are consistent with the Chester Town Plan.

B. Permitted Uses: The following land uses require a zoning permit issued by the Zoning Administrator (see Section 7.2):

1. Accessory Dwelling
2. Accessory Structure
3. Accessory Use (e.g., Home Child Care Facility, Home Occupation)
4. Agricultural/Forestry (See Sec.4.3 Limitations & Exemptions)
5. Family Child Care Home
6. Group Home
7. Home Occupation
8. Dwellings – Single- and Two-Household

C. Conditional Uses: The following land uses require conditional use review by the Development Review Board (see Section 4.8) and a zoning permit issued by the Zoning Administrator (see Section 7.2):

1. Animal Hospital
2. Animal Kennel
3. Art Studio and/or Gallery
4. Building and Construction Trades
5. Campground
6. Civic Institutional
7. Wireless Communication Facility
8. Extraction Operations
9. Family Child Care Facility
10. Food Truck/Food Cart/Food Stand
11. Heavy Construction Trades
12. Home Business
13. Nursery
14. Professional Office
15. Recreation
16. Dwellings – Multi-Household
17. Sawmill
18. Tourist Lodging
19. Mobile Home Park
20. Wood Processing

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D. Dimensional Standards:

Minimum Lot Size	3 acres
Maximum Density	1 blg. unit / 5 acres
Minimum Lot Frontage	150 200 ft.
Minimum Front Yard Setback	40 50 ft.
Minimum Side Yard Setback	30 50 ft.
Minimum Rear Yard Setback	30 50 ft.
Maximum Lot Coverage	20 40 %
Maximum Building Height	35 ft.

E. Supplemental Standards:

1. Driveways. All new driveways and substantially existing driveway shall meet the AOT Access Management Program Guidelines and/or the Town of Chester Road & Bridge Specifications.

2. Character of Development. New development and modifications to existing buildings and uses shall be consistent with the existing character of the area and compatible with adjacent land uses with respect to traffic, noise, vibrations, or other impacts in conflict with residential uses.

3. Landscaping and Screening. The Development Review Board shall require landscaping or other screening between incompatible uses or structures.

4. Dimensional Standards. Please note that the former minimum lot size was deleted in the 2024 amendment. It was replaced with a maximum density standard. In this district, a maximum density of 1 building unit (i.e., one single-household dwelling, one multi-household dwelling) per 5-acres shall not be exceeded. As an example, a property owner that wants to subdivide a 20-acre lot could create four conventional 5-acre lots (see Figure X.1). Or, that property owner could instead create three 2-acre lots and maintain one 14-acre lot, which can no longer be subdivided (see Figure X.2). The benefit of this second approach is providing flexibility to create smaller, lower-cost lots for housing, maintaining a larger lots to reduce forest fragmentation, and maintaining an overall low density in this rural district.

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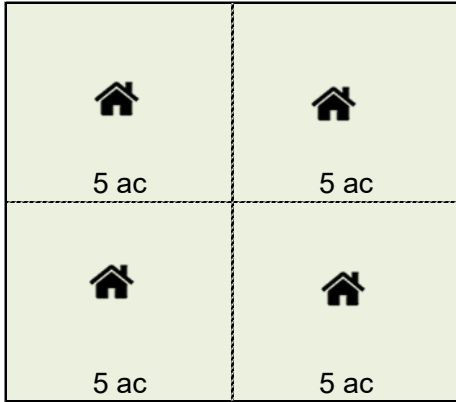


Figure X.1: Minimum Lot Size

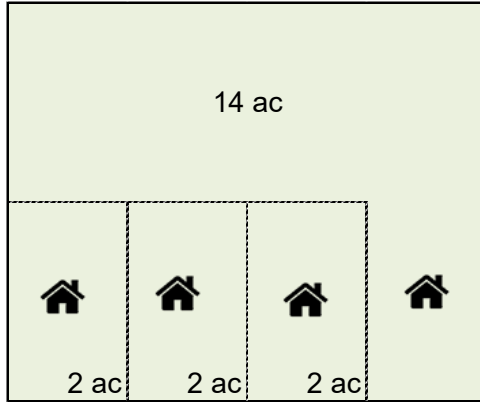


Figure X.2: Maximum Density

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2.12 Rural 8-Acre (RUR-8) ~~Conservation Residential (C-R)~~ District

A. Purpose: To ~~conserve~~ maintain large parcels or tracts of land ~~that are valuable~~ for working landscape related uses, including farming and forestry. In keeping with the Town Plan goals to retain rural character as well as to serve as habitat for wildlife and outdoor recreational uses, these areas are designated for very low-density development. This may be accomplished through cluster development or development for residential purposes of that land that is marginal for agricultural use.

B. Permitted Uses: The following land uses require a zoning permit issued by the Zoning Administrator (see Section 7.2):

1. Accessory Dwelling
2. Accessory Structure
3. Accessory Use (e.g. Home Child Care Facility, Home Occupation)
4. Agricultural/Forestry (See Sec. 4.3 Limitations & Exemptions)
5. Family Child Care Home
6. Group Home
7. Private Broadcast Facility
8. Dwelling— Single- and Two-Household

C. Conditional Uses: The following land uses require conditional use review by the Development Review Board (see Section 4.8) and a zoning permit issued by the Zoning Administrator (see Section 7.2):

1. Animal Kennel
2. Art Studio and/or Gallery
3. Building and Construction Trades
4. Campground
5. Commercial Broadcast Facility
6. Extraction Operations
7. Family Child Care Facility
8. Heavy Construction Trades
9. Home Business
10. Nursery
11. Recreation
12. Civic/Institutional
13. Sawmill
14. Tourist Lodging?
15. Wood Processing

D. Dimensional Standards:

Minimum Lot Size	5 acres
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Maximum Density	1 blg. unit / 8 acres
Minimum Lot Frontage	200 250 ft.
Minimum Front Yard Setback	40 50 ft.
Minimum Side Yard Setback	30 50 ft.
Minimum Rear Yard Setback	30 50 ft.
Maximum Lot Coverage	10%
Maximum Building Height	35 ft.

E. Supplemental Standards:

1. Dimensional Standards. Please note that the former minimum lot size was deleted in the 2024 amendment. It was replaced with a maximum density standard. In this district, a maximum density of 1 building unit (i.e., one single-household dwelling, one two-household dwelling) per 8-acres shall not be exceeded. As an example, a property owner that wants to subdivide a 32-acre lot could create four conventional 8-acre lots (see Figure X.1). Or, that property owner could instead create three 2-acre lots and maintain one 26-acre lot, which can no longer be subdivided (see Figure X.2). The benefit of this second approach is providing flexibility to create smaller, lower-cost lots for housing, maintaining a larger lots to reduce forest fragmentation, and maintaining an overall low density in this rural district.

